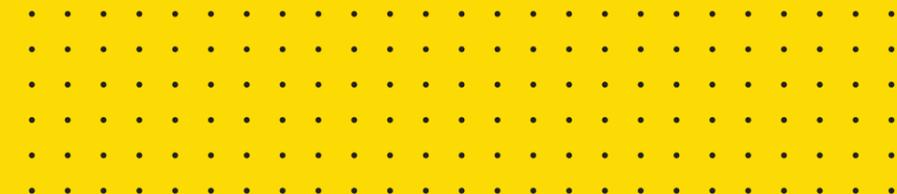




# MERRIWA PARK MASTER PLAN

## ANALYSIS REPORT + LANDSCAPE MASTER PLAN



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*We acknowledge the traditional custodians of the land, and pay our respects to their elders past present and emerging, recognising their continuing connection to land, waters and culture.*

Issue	Title	Date	Prepared	Checked
1	Merriwa Park Analysis Report + Landscape Master Plan	22/10/2021	HZ	ZC/NM
2	Merriwa Park Analysis Report + Landscape Master Plan	05/11/2021	HZ	ZC
3				
4				
5				
6				
7				

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# CO N TENTS

INTRODUCTION	Pg 4	KEY PROJECTS & DESIGN SOLUTIONS	Pg 19-24
VISION FOR MERRIWA	Pg 5	LIST OF WORKS	
DESIGN PRINCIPLES	Pg 5	KEY PROJECT, ACTION AND	
SITE APPRECIATION	Pg 6	IMPLEMENTATION PLAN	
REGIONAL CONTEXT ANALYSIS	Pg 6	10 YEAR ACTION PLAN	Pg 25
LOCAL CONTEXT ANALYSIS	Pg 7	COST ESTIMATES	Pg 26
CONTEXT & KEY FEATURES PLAN	Pg 8	ADDENDUM:	
OPPORTUNITIES & CONSTRAINTS	Pg 9-10	SITE ANALYSIS	
CONSULTATION SUMMARY	Pg 11	PRIMARY SCHOOL KIDS SURVEY	
OVERVIEW OF WORKS DELIVERY	Pg 12	CONSULTATION REPORT	
SCHEMATIC DESIGN PLAN	Pg 13		
DETAIL PLAN 01 - RYLEY ST ENTRY	Pg 14		
DETAIL PLAN 02 - RYLEY STREET	Pg 15		
PEDESTRIAN ACCESS			
AND ACCESSIBLE RAMP			
DETAIL PLAN 03 - PLAYGROUND UPGRADE	Pg 16		
DETAIL PLAN 04 - NATURE PLAY	Pg 17		
DETAIL PLAN 05 - MELDRUM ST DDA RAMP	Pg 18		

# INTRODUCTION

Merriwa Park is a large, beautiful park, tucked away within the Wangaratta CBD. The park acts as part of the gateway that greets visitors to the Wangaratta CBD from the west, via Ryley Street.

Apart from its wide-open lawns and historic red gums forest, the park also consists of a number of features including, but not limited to:

- A fernery;
- Tennis club (22 courts);
- Concert sound shell with a grassed amphitheatre (primarily used for annual Christmas event);
- Playground
- BBQ and shelter facilities;
- Public toilets and;
- An ornamental lake/lagoon which encircles the park.

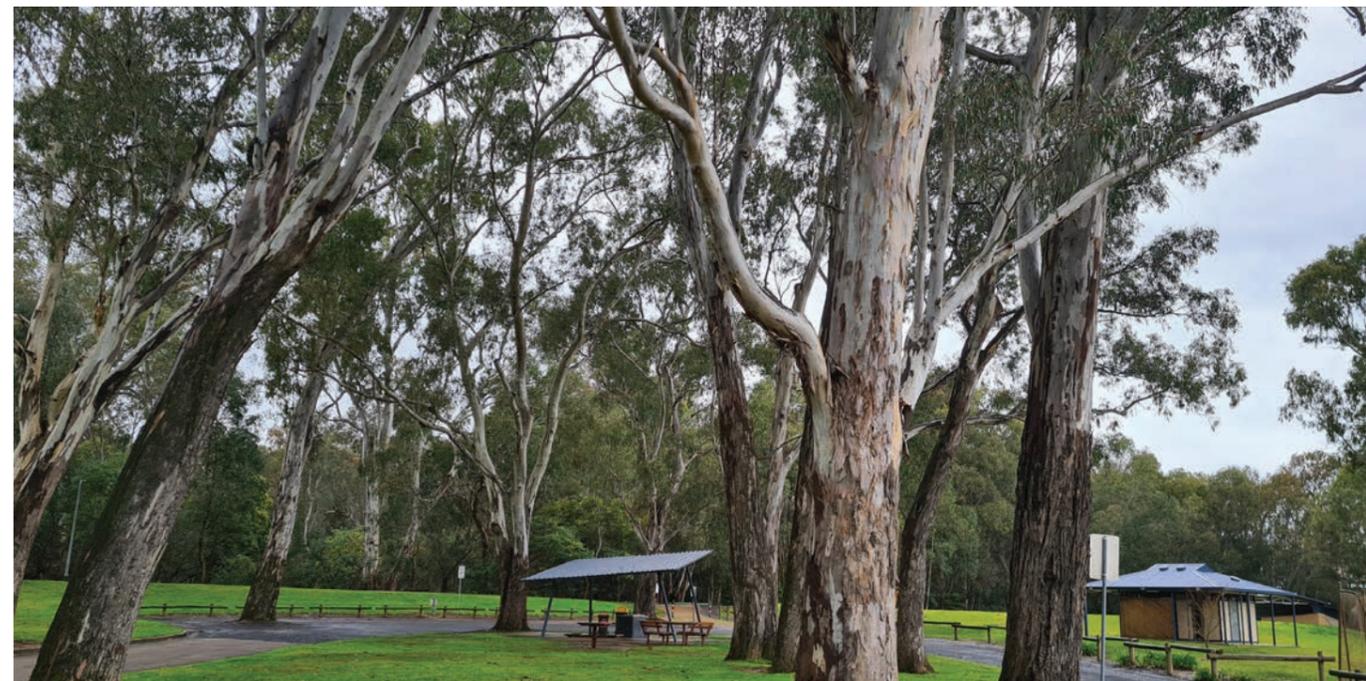
Merriwa Park is well loved by its community of users for a wide range of purposes ranging from picnics and dog walking, to open air concerts and weddings.

Kaluna Park which adjoins Merriwa Park consists of 5.2ha of natural remnant River Red Gum riverine and is bordered by the King River, a billabong and levee bank which separates it from Merriwa Park. A network of walking tracks with seating and interpretive signage can be found within Kaluna Park which is accessed via the south end of Merriwa Park.

In February 2015, a landscape concept masterplan was prepared for Merriwa Park and Kaluna Park which identified key issues and proposed a number of suggested solutions.

In July 2021, Group GSA was engaged by the Rural City of Wangaratta to review the previous masterplan, as well as to conduct community and stakeholder engagement to identify what the community wants and needs are for the future development of Merriwa Park and Kaluna Park.

This Landscape Masterplan documents the process and provides a schematic design plan of Merriwa Park (and Kaluna Park) in consideration of a number of key observations and design principles identified throughout the consultation process.



# VISION FOR MERRIWA

The guiding vision for the future of Merriwa Park has been developed through the collection and compiling of feedback received from a number of engagement activities with various community and stakeholder groups.

It is through understanding what the community loves about the existing park, how they use it, and what they want to see improved – that will drive the design outcomes that are described in this vision for Merriwa Park and within the landscape masterplan.

Building upon the unique characteristic of Merriwa Park as a hidden oasis in the middle of town, we seek to capture the different aspirations of the community to create a masterplan that encapsulates the essence of the parks' success and potential to become a favourite recreational destination for locals and visitors alike.

**Our Vision for Merriwa Park is:**  
**“To protect and enhance Merriwa Parks’ beautiful natural environment and provide an environment of fun and relaxation, with activities for the whole family to enjoy”**

Specifically, this vision seeks to:

- Enable the park to cater for a range of activities and users with different abilities.
- Invite and inspire people of all ages to appreciate and respect the natural environment.
- Become a place to improve people’s mental and physical well-being.
- Provide a safe and convenient place for families to enjoy different recreational activities.
- Enhance the visibility of the park and attract more visitors to use the park facilities.
- Improve the access to the park for visitors coming by different modes of travel, including bus, car, bike and by walking.

The final design of the Landscape Masterplan will also assist with the preparation of cost estimates and a 10-year action plan which details the priority actions for implementation and delivery.

## ACTIVITIES / FLEXIBILITY



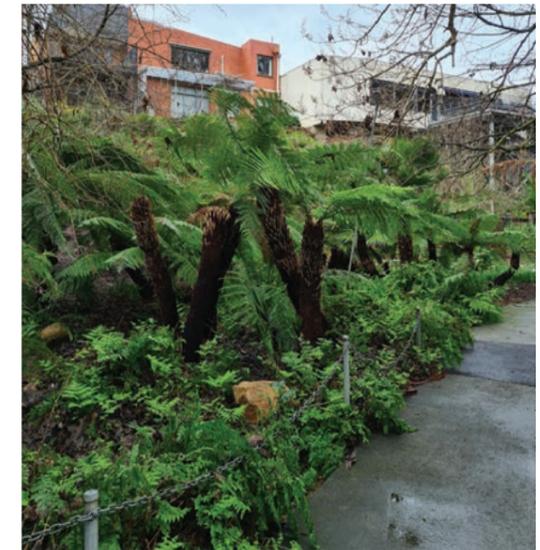
EXPLORE OPPORTUNITIES TO FACILITATE ORGANIZED EVENTS AND ENABLE A FLEXIBLE USAGE OF THE PARK.

## AMENITIES



PROVIDE BETTER AND SAFER AMENITIES THAT ARE RESPECTED AND VALUED BY THE STAKEHOLDERS AND COMMUNITY

## NATURAL ENVIRONMENT / ECOLOGY



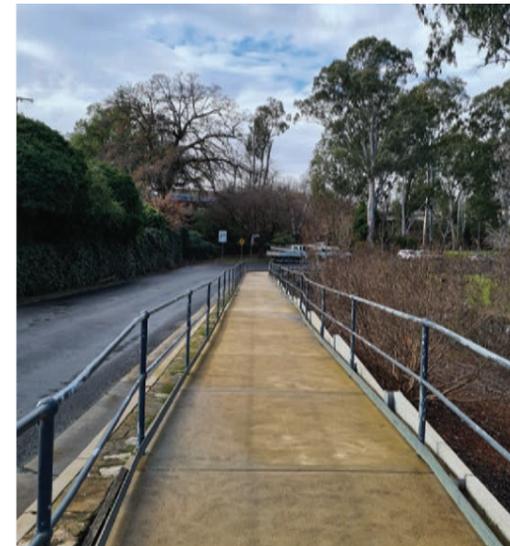
PROTECT AND ENHANCE THE UNIQUE NATURAL CHARACTERISTICS WITHIN THE PARK AND ENSURE LONGER EXISTENCE OF THIS SPECIAL QUALITY

## PARK AESTHETICS / LOCAL CHARACTER



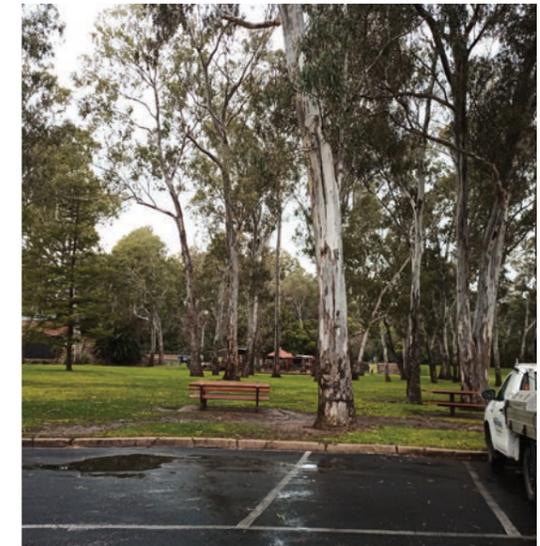
FORMALISE AND BEAUTIFY THE DETERIORATED ELEMENTS WITHIN THE PARK FOR PEOPLE’S ENJOYMENT

## ACCESSIBILITY



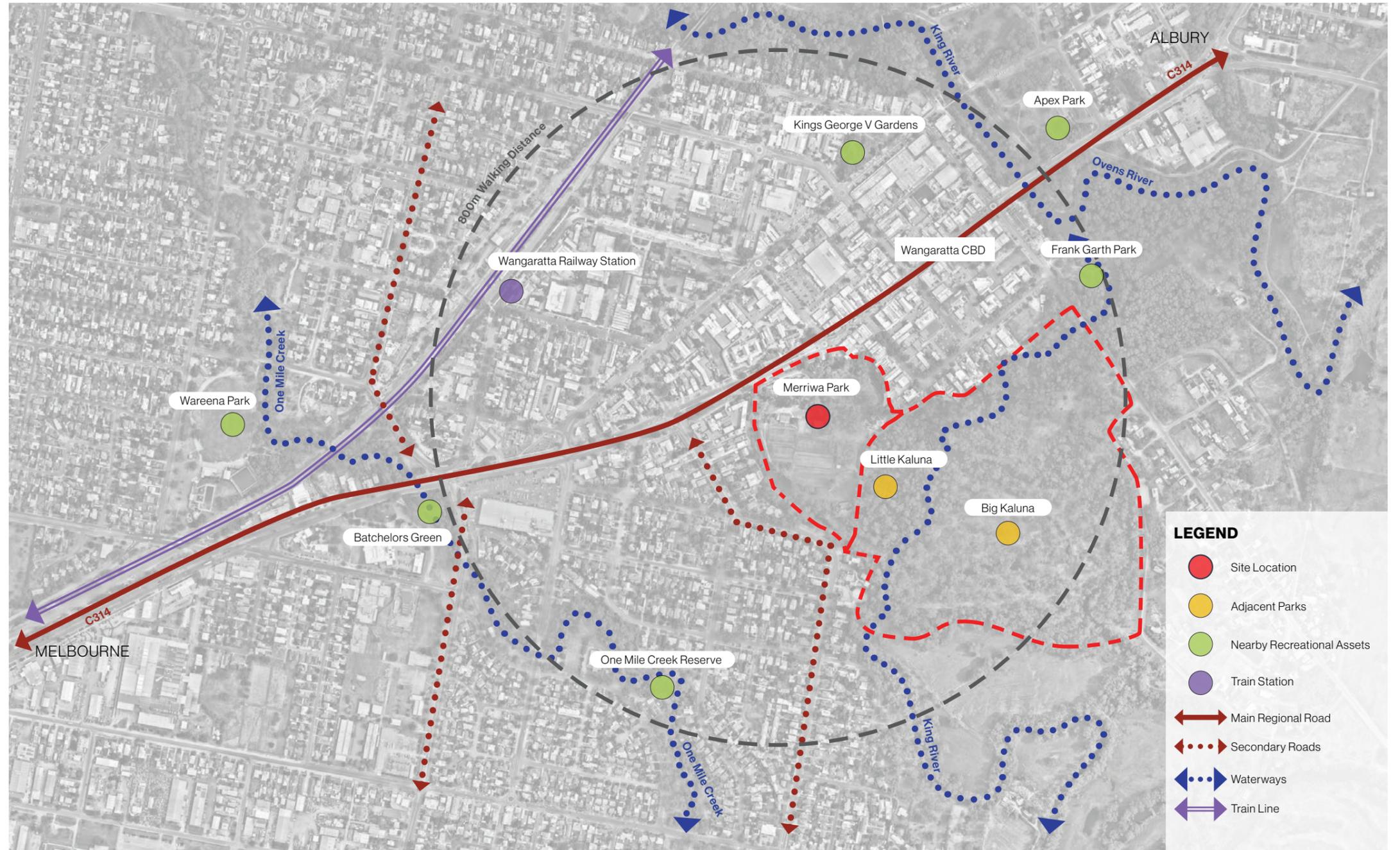
IMPROVE ACCESSIBILITY OF THE PARK AND FACILITIES AND ENSURE EXPERIENCE FOR USERS OF ALL ABILITIES

## TRAFFIC / PARKING



IMPROVE TRAFFIC CONDITIONS AT MAIN ACCESS POINT FOR SAFETY OF USERS AND REDUCE HAZARDS BETWEEN PEDESTRIAN AND VEHICLE FLOWS.

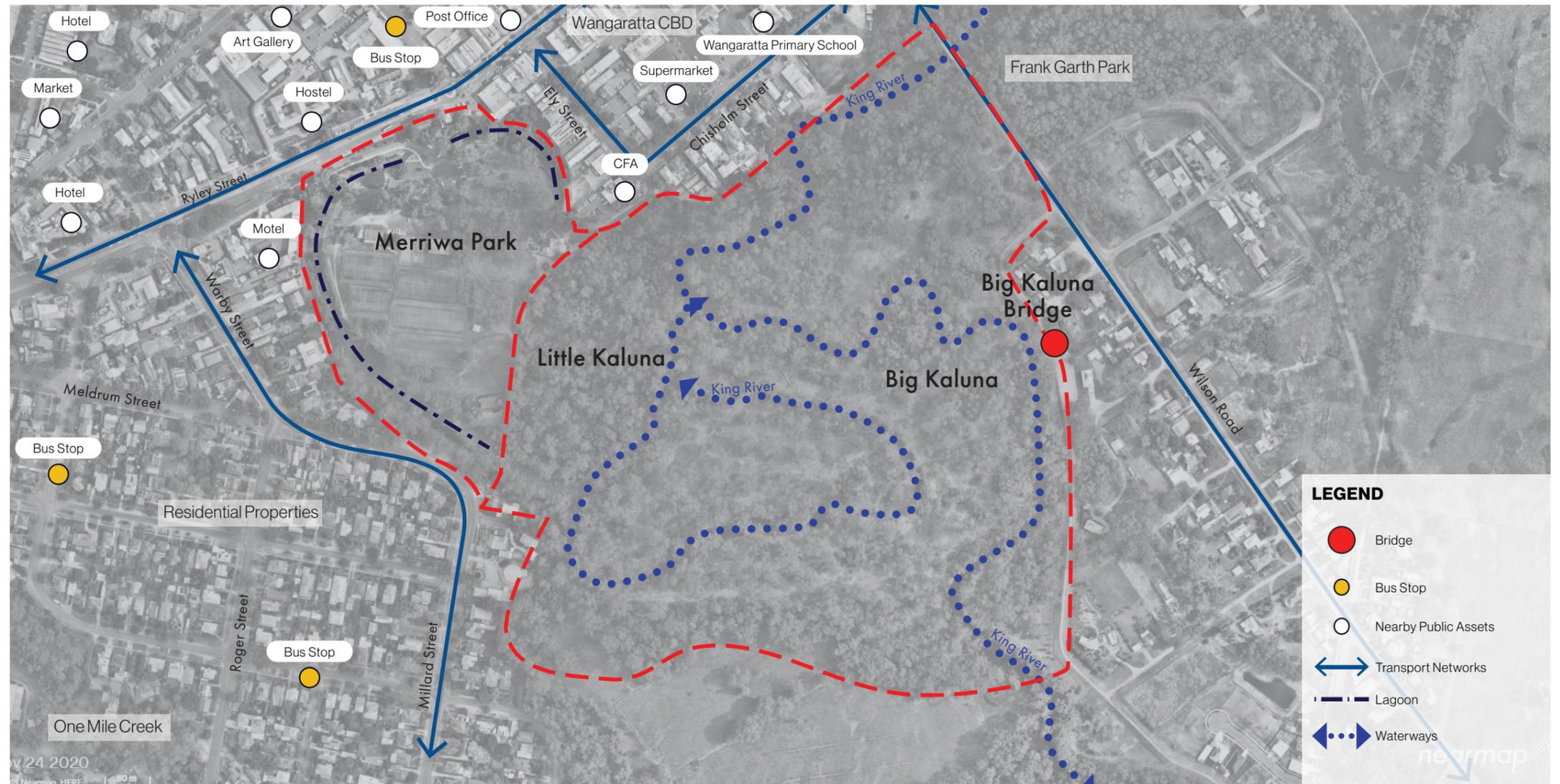
# REGIONAL CONTEXT MAP



# LOCAL CONTEXT

The Wangaratta LGA is located within Pangerang lands and is traditionally owned by the Yorta Yorta Nation.

As of the time of writing of this Masterplan report, a Cultural Heritage Management Plan (CHMP) is being undertaken by the Rural City of Wangaratta for Merriwa Park and Kaluna Park. The completed CHMP will inform the design of the Merriwa Park masterplan and provide guidance as we continue to work with local indigenous networks and representatives, capturing the cultural significance of this site. The results will enable the key projects outcomes to be respectful to the site's cultural heritage, historic usage, local character and environmental considerations. Ensuring that Merriwa Park becomes inclusive of the greater community that it seeks to benefit and provide for as part of its Vision.



# CONTEXT & KEY FEATURES PLAN



## LEGEND

-  Bus Stop
-  Access Point
-  Transport Networks
-  Site Extent

# OPPORTUNITIES & CONSTRAINTS

## Opportunities

- 1 Formalise and standardise the current seating and picnic settings around the park, keep consistent in modern style, subject to Council preference.
- 2 Repair and make safe the rock edge to Lagoon (north of site).
- 3 Retain the established trees at the north opening grass areas and establish new exotic trees at the south grass areas.
- 4 Ensure adequate provision of power and water connections to cater for future uses of the well maintained grassed areas for events.
- 5 Repair and standardise treatment of retaining walls and batters from the back of adjacent properties.
- 6 Explore how the upgraded section of the retaining wall can be integrated with new functions to activate the grassed area as an outdoor event space.
- 7 Refurbish Sound Shell and lawn area to incorporate permanent audio and lighting infrastructure - catering to various events.
- 8 Explore DDA accessible ramp from Ryley Street and Ely Street to Merriwa Park, to also cater for future cycle path connections through to Ely Street.
- 9 Relocate the existing public toilet closer to the car park and picnic areas.
- 10 Repair and improve internal road for maintenance vehicle access and larger vehicles during event set up.
- 11 Beautify site embankments between back of neighbouring properties and the lagoon; providing visual relief to park users. Investigate new retaining walls, garden beds and lawn terraces along the Lagoon banks.
- 12 Develop a continuous walking track along east edge of the Lagoon and connect with existing footpaths. Upgrade existing gravel track to a concrete path.
- 13 Provision of additional seating along the banks of the lagoon.



## Constraints

- A Cost of installation of underground channelling cables to safely connect the Sound Shell to a power supply.
- B The moat and water feature in front of the stage no longer serves a purpose and is potentially dangerous.
- C Internal roads are located within the TPZ of existing established trees and repairs to the road surfaces may potentially damage root zones.
- D Tennis courts create a physical and visual barrier between the lagoon and the grassed area to the east of the site.
- E The majority of the site is prone to flooding.
- F Relocation of existing public toilets may be difficult with service connections and extension.
- G Maintenance access to the retaining/embankment treatment could be difficult.
- H Lack of pedestrian access/connectivity from the fernery to the CBD areas.

# OPPORTUNITIES & CONSTRAINTS

## Opportunities

- 14 Modernise and upgrade the existing playground equipment with consideration to inclusive play.
- 15 Improve accessibility into, within and around the playground.
- 16 The location of the playground can be reconsidered if deemed unsuitable.
- 17 Improve park lighting along pathways to improve safety of the park at night time.
- 18 Investigate power supply improvements required to cater to larger events at the Sound Shell.
- 19 Improve vehicle access/entrance at Ryley Street to enhance Merriwa Park's presence and significance as the southern gateway to Wangaratta CBD.
- 20 Upgrade to centralised irrigation system (to work from the reduced water meters 80-mm).
- 21 Renew Kerb & channel and drainage throughout the park & lagoon.
- 22 Remove excessive vegetation/sedge at south end of Lagoon and improve water quality and reticulation.
- 23 Re-establish looped track from Fernery over lagoon and historic donkey track.
- 24 Increase height and reduce gradient at the existing levee bank for ease of maintenance.
- 25 Review and upgrade wayfinding and signage within Kaluna Park. Maintain informal gravel tracks.
- 26 Improve kerbside appeal of Merriwa Park through the removal of a number of exotic trees near the bike hub entrance to open up view of the park from the street level, subject to community feedback.



## Constraints

- I Established site trees affect usage of the site for events.
- J Merriwa Park's presence on Murphy/Ryley Street is not strong due to significant difference in elevation.
- K Existing lagoon and water way needs to be cleaned up and water quality improved.
- L Erosion issue to the levee bank at east of the site.
- M Existing furniture and retaining walls are inconsistent through out the park. There isn't a Public Domain Manual to inform how these should be selected/specified for future works within Merriwa Park (and surrounding public reserves).
- N The playground fencing is not fully enclosed, creating risk and safety issues for playground users.

# CONSULTATION SUMMARY

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The Rural City of Wangaratta, with the assistance of Group GSA, facilitated several consultation sessions with the local community, stakeholders, and Council departments to collect a rounded perspective of views and opinions that will inform the concept development of the masterplan.

The format of this consultation process is a 'clean slate' approach where it functioned as an information gathering exercise for the project team.

Additionally, an online survey was conducted by the Council to give the wider community an opportunity to provide further feedback. A similar questionnaire was provided to the local Primary school kids to complete, and the results were also compiled.

A Consultation Report was created at the end of this process, summarising the engagement activities that took place. This will be provided as part of the supporting documentation of this Landscape Masterplan.



# OVERVIEW OF WORKS DELIVERY

Through the consultation process, a number of key items or considerations were identified, including but not limited to the following:

- Playground
- Park furniture (including BBQ and shelters)
- Existing toilet block
- Provision of lighting and power
- Drainage, septic and irrigation systems
- Sound Shell
- Open grass areas and existing trees
- Fernery
- Lagoon
- Retaining walls and fencing
- Signage and wayfinding
- Vehicle access
- Bike hub access
- Kaluna Park access
- Loop track
- Levee bank
- Internal road traffic
- Car parking

A detailed matrix outlining currently identified key consideration items and potential solution/treatment can be found on the pages after the schematic design plan.



Upgrade the main pedestrian entrance to Merriwa Park from Ryley Street, with new signage, seating, feature lighting and planting to enhance the presence of the park to visitors of Wangaratta.

Proposed short term bus parking.

Investigate opportunity on widening the entry at Ryley St to cater for bus access and balance the potential hazards to pedestrian crossing.

Proposed playground extension secured with fencing and modernized equipment for equal access to all ability and age groups: swing set, two-way rocker, seesaw, slide and spinner.

Repair the internal road surfaces and formalize and provide line marking to car park, maintain the number of net car parking spot.

Estimated car park number  
North of tennis court: 33  
North of Playground: 25  
North of Sound Shell: 5

New public place recycling bin station and drinking fountain to the proposed picnic area.

Relocate and upgrade the toilet block, including changing facility and disable toilet.

Proposed bench seats (no back) adjacent to tennis courts for spectators.

Re-establish the foot bridge.

New seating to open areas along the lagoon.

Clean sedges at the lagoon edge and improve water circulation.

Explore DDA ramp at Meldrum Street.

Implement strategies to improve the kerbside appeal of Merriwa Park to improve visitor attraction and comfort. These include the removal of a number of exotic trees near the bike hub entrance to open up view of the park from the street level.

Proposed DDA ramp connecting Ryley Street with Merriwa Park and incorporate the standardised new retaining wall development.

Retain the bridge and upgrade the Fernery and re-establish the historical track, provide seating along the path.

Upgrade and replace the existing park furniture and ensure uniformity and cohesiveness throughout the Merriwa Park, include new public place recycling bin station, BBQ and drinking fountain.

Repair and make safe the rock edge to Lagoon.

New shelter and BBQ to picnic area.

Proposed raised wombat crossing for pedestrian safety.

The connection of the proposed path will ensure adequate grades are achieved, meeting DDA standards for access onto Ely Street.

Retain red gums and maintain as open grass area, with upgraded irrigation system.

Retain and stabilise the levee bank.

Increased roundabout to ensure heavy vehicle turning around, subject to traffic engineering assessment.

Retain the maintenance access area.

Power and water from the removed toilet block is to be maintained to enable access for future events.

Upgrade the existing shelter and provide furniture of uniformity.

Proposed additional play area with natural themed play elements, eg: timber logging. Reuse of fallen tree material as furniture or play items.

Upgrade Kaluna Park entry signage and further investigate the feasibility to deliver the Kaluna Park Pathway enhancement project, providing a connection from Merriwa Park to Wilson Road.

Infill the moat to improve safety around the Sound shell. Explore opportunities to improve Sound shell facilities including stage and canopy size, toilets, power and lighting - with Council assistance.

Retain existing rear car park open area south of the Sound shell for vehicle access during event times and maintenance. Preserve the land adjoining the Sound shell to cater for future expansion

### LEGEND

	SITE EXTENT		PLAYGROUND FENCING
	EXISTING TREES		REPAIRED LAGOON EDGE
	CONCRETE PATH		SOFTFALL
	LAGOON		ASPHALT
	GRASS		Sound Shell STAGE
	EMBANKMENT PLANTING		GRANITIC GRAVEL
	GARDEN BED PLANTING		PICNIC SETTING
	FERNERY		SEATING
	ENTRY SIGNAGE		PUBLIC PLACE RECYCLING BIN STATION
	INTERPRETIVE SIGNAGE		DRINKING FOUNTAIN

- ① VEHICLE ACCESS FROM RYLEY STREET
- ② PEDESTRIAN ACCESS FROM RYLEY STREET
- ③ UNIVERSAL ACCESSIBLE RAMP
- ④ FERNERY UPGRADE
- ⑤ LAGOON EDGE REPAIR
- ⑥ FORMALISE/UPGRADE PARK FURNITURE
- ⑦ EXPANDED NEW PLAYGROUND
- ⑧ NEW PICNIC AREA
- ⑨ REPAIR ROAD SURFACE AND FORMALISE CAR PARK
- ⑩ LOOPED FOOTPATH
- ⑪ TWO-WAY VEHICLE LANE
- ⑫ EXTRA NATURE PLAY AREA
- ⑬ RELOCATE AND UPGRADE EXISTING SHELTER AND BBQ
- ⑭ RELOCATE AND UPGRADE TOILET BLOCK
- ⑮ RETAIN EXISTING MAINTENANCE ACCESS
- ⑯ STABILISE THE LEVEE BANK

Note:  
1. All ramps and paths are shown indicatively, subject to detailed design with feature survey and based on site conditions.  
2. Refer to 'Key Project Items, Treatment Methods and Priority' section of the report for detailed actions to the deliverables.



# DETAIL PLAN 01 RYLEY ST ENTRY

## HARDSCAPE



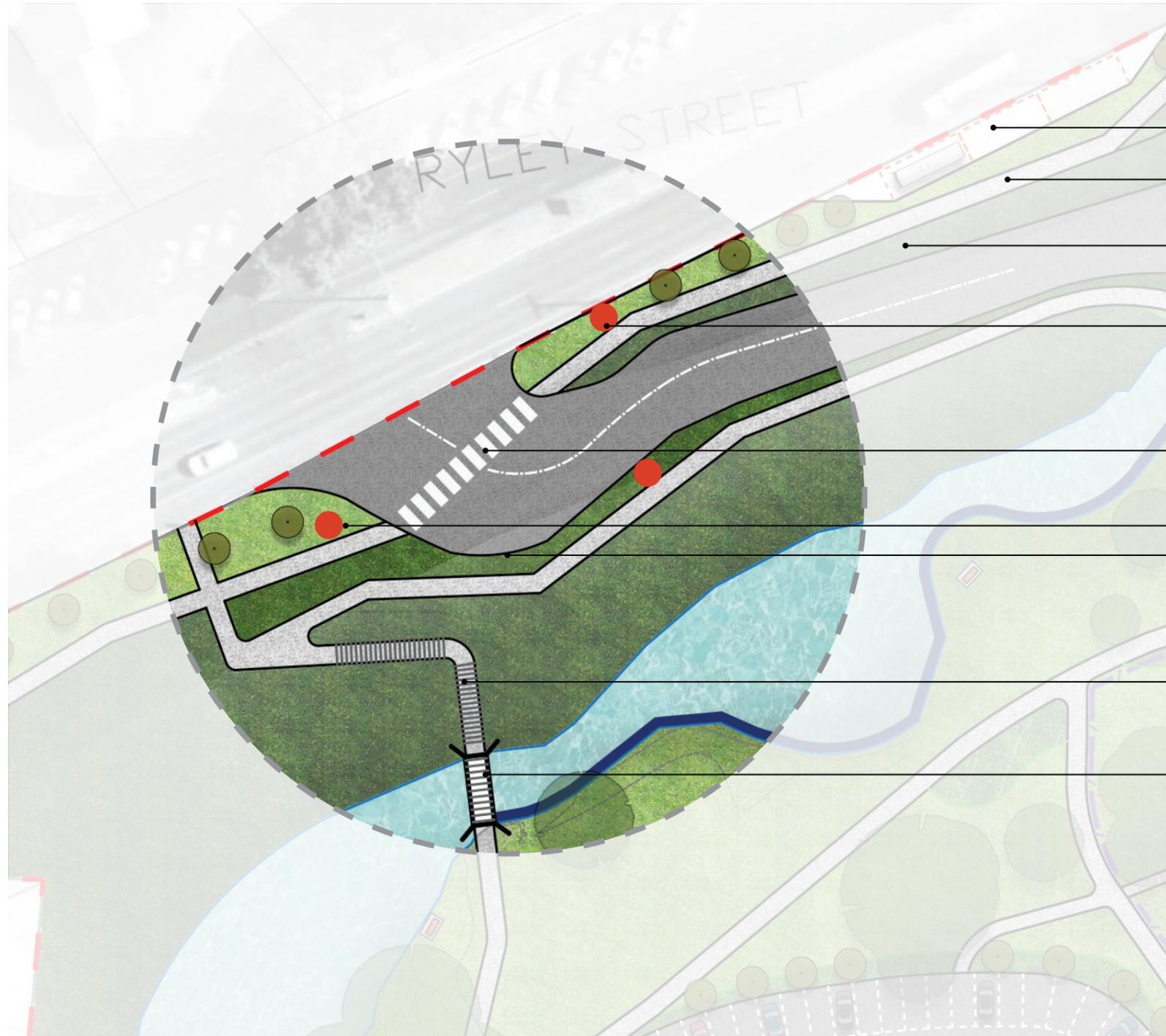
Concrete Path



Asphalt Road Paving



KEY PLAN



Proposed short-term bus parking

Proposed footpath re-alignment

Replant any disturbed planting to embankment

Warning Signs close to the entry point  
Subject to Traffic Engineer assessment



Pedestrian crossing line marking

Warning Signs close to the entry point  
Widen the road shoulder to provide sufficient space for bus turn

Staircase

Retain the existing bridge

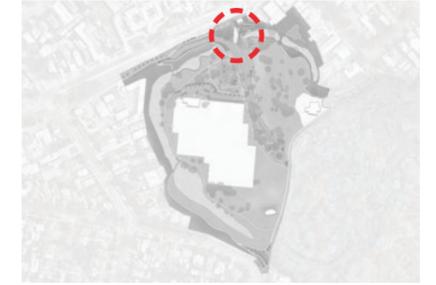
Note:

1. The layout as shown is indicative only, subject to traffic engineering assessment.
2. Refer to 'Key Project, Action and Implementation Plan' section of the report for detailed actions to the deliverables.

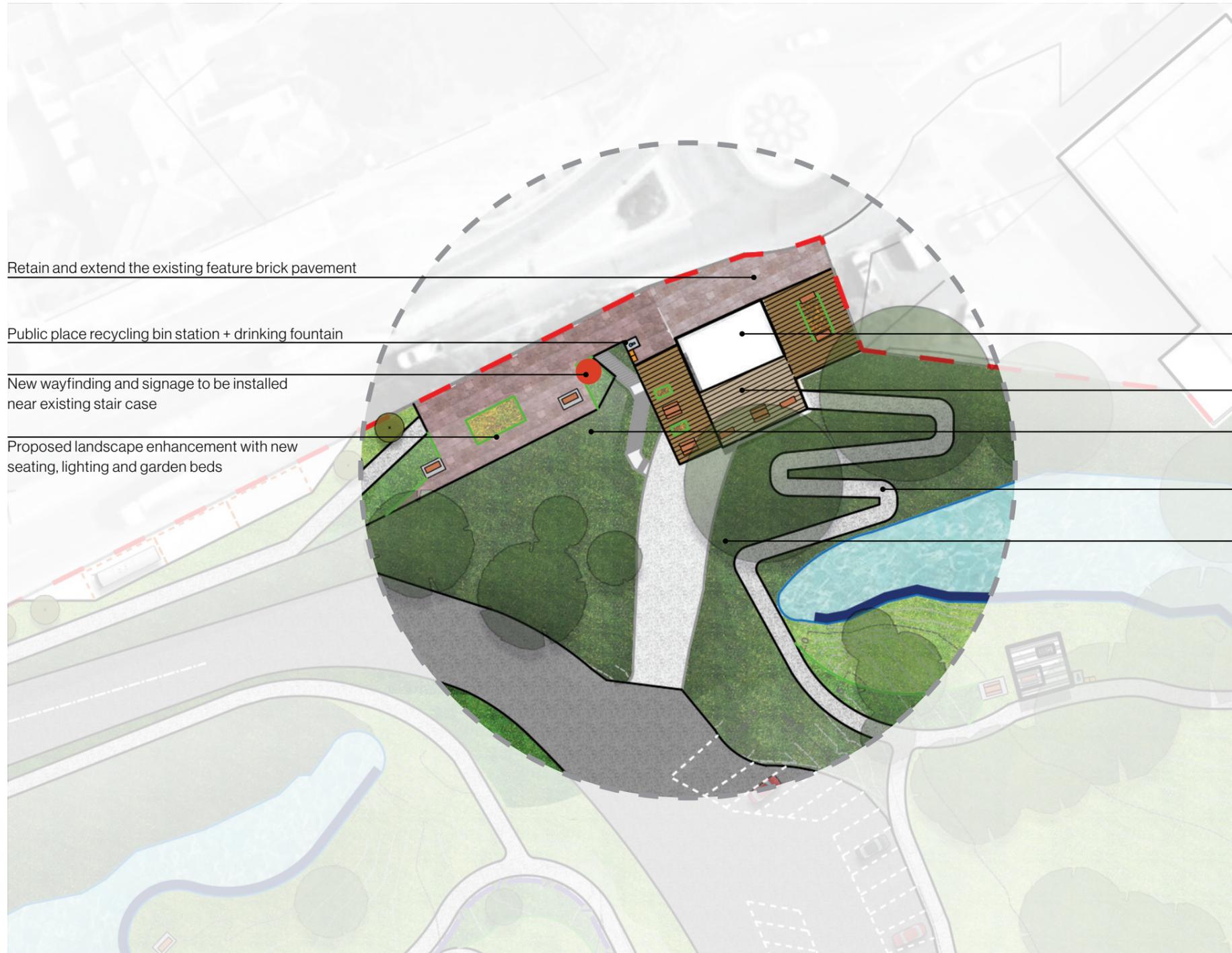


# DETAIL PLAN 02

## RYLEY STREET PEDESTRIAN ACCESS AND ACCESSIBLE RAMP



KEY PLAN



Retain and extend the existing feature brick pavement

Public place recycling bin station + drinking fountain

New wayfinding and signage to be installed near existing stair case

Proposed landscape enhancement with new seating, lighting and garden beds

Retain the toilet facility

Expanded timber decking viewing area with additional seating for small gatherings

Consider tree removal to open up view lines into Merriwa Park

Proposed universally accessible ramp

Renew the existing planting

### SOFTSCAPE



Garden bed with feature planting

### FURNITURE



DDA Seating with backrest and armrests

#### Note:

1. The ramp layout as shown is indicative only, subject to change in accordance with future retaining wall works.
2. Refer to 'Key Project, Action and Implementation Plan' section of the report for detailed actions to the deliverables.



# DETAIL PLAN 03 PLAYGROUND UPGRADE



KEY PLAN



Proposed Garden Bed to soften the corner

Revised path connection

Proposed seating with arm rest

Fully enclosed fencing to playgrounds with access points

Proposed playground extension secured with fencing and modernized equipment for equal access to all ability and age groups: swing set, two-way rocker, see-saw, slide and spinner.

Proposed softfall to play areas

Proposed scooter track

Proposed shelter, BBQ and formalised furniture

Public place recycling bin station + drinking fountain

Relocate and upgrade the toilet block, including changing facility and disable toilet.

Feature garden bed planting

## FURNITURE



DDA Seating with backrest and armrests



DDA Picnic Setting



Drinking Fountain



Public Place Recycling Bin Station

## PLAYGROUND



Modern play equipment



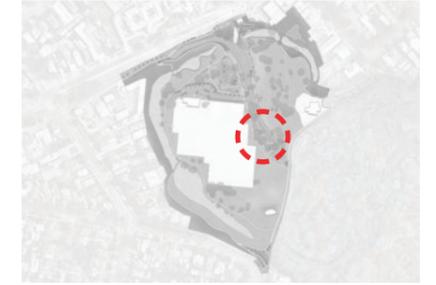
Enclosed fencing

Note:

1. The playground equipment as shown is indicative only, subject to Council / Community preferred categories.
2. Playground layout is preliminary only and subject to detailed design.
3. Refer to 'Key Project, Action and Implementation Plan' section of the report for detailed actions to the deliverables.



# DETAIL PLAN 04 NATURE PLAY



KEY PLAN



Proposed raised wombat crossing for pedestrian safety

Proposed concrete path

Proposed bench seats (no back) adjacent to tennis courts for spectators.

Half enclosed timber barrier fencing to nature play areas with access points

Timber bench seat made from salvaged material

Proposed additional play area with natural themed play elements, e.g.: timber logs, stumps. Reuse of fallen tree material as furniture or play items.

Nature play area to include indigenous elements to pay tribute to the cultural significance of Kaluna Park. Items include timber totem poles with indigenous artwork, red gum (natural timber) boomerang designed seat/s & signage with QR information codes.

Two-way vehicle lane

Proposed softfall to play areas

Relocate and upgrade shelter, BBQ and formalise furniture

Low post and rail with gaps

DDA car park

DDA access

## FURNITURE



Timber seat made from salvaged material



Bench seat for spectators

## PLAYGROUND



Timber logs



Timber stumps

### Note:

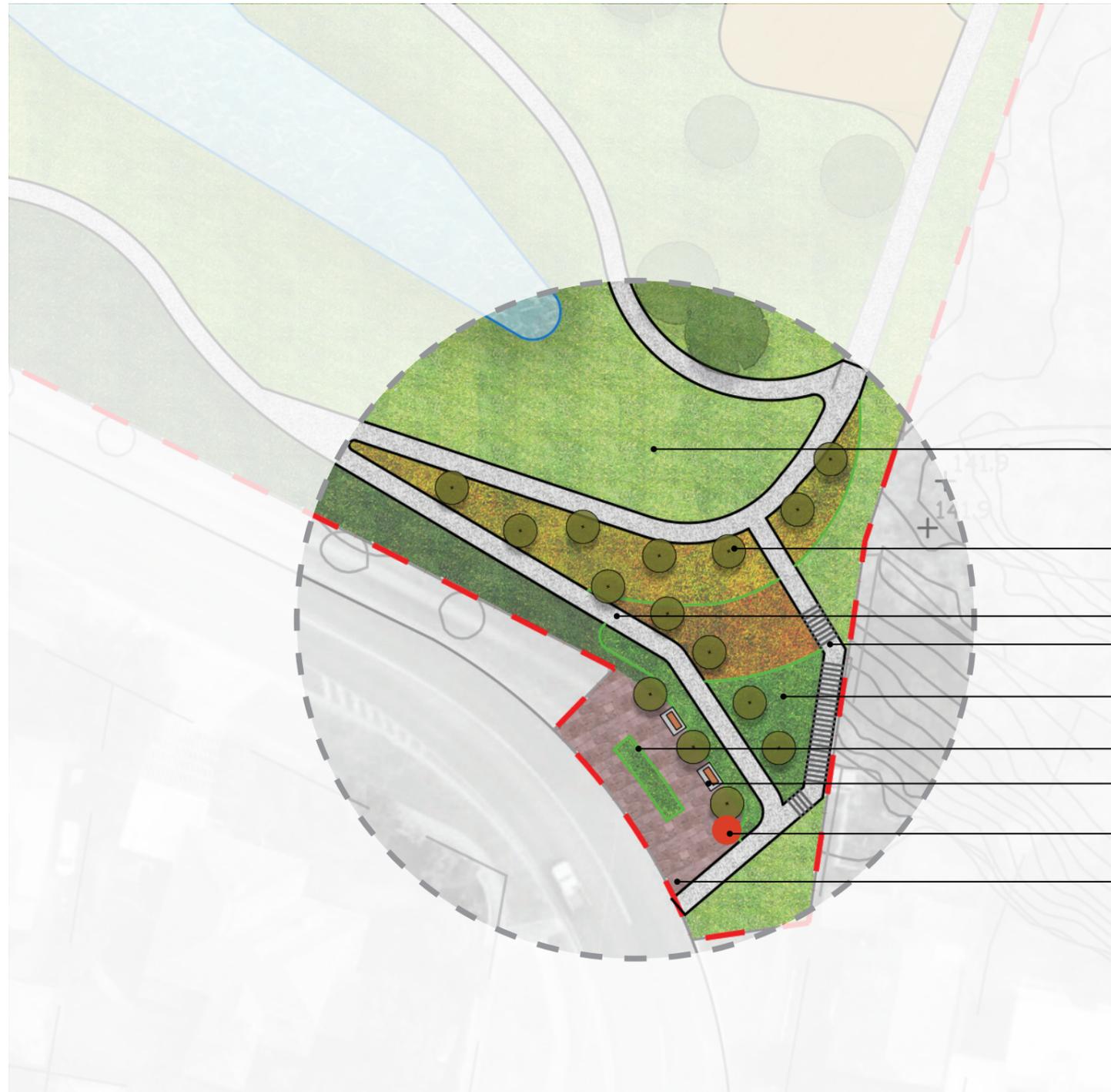
1. Traffic management issues could be resolved by closing of this road during event times. Ensure the proposed roundabout is suitable for heavy vehicle movement during event times. Final layout is subject to Traffic Engineering at detailed design.
2. The playground equipment as shown is indicative only, subject to Council / Community preferred categories.
3. Playground layout is preliminary only and subject to detailed design.
4. Refer to 'Key Project, Action and Implementation Plan' section of the report for detailed actions to the deliverables.



# DETAIL PLAN 05 MELDRUM ST DDA RAMP



KEY PLAN



Retain the existing open grass area

Proposed feature exotic tree planting

Proposed 1 in 20 DDA Ramp

Retain the existing staircase

Renew the existing planting

Feature garden bed

Proposed seating with arm rest

Signage at the entry of Meldrum St DDA Ramp

Proposed brick feature paving

## FURNITURE



Wayfinding / Signage



DDA Seating with backrest and armrests

## HARDSCAPE



Concrete Path

Note:

1. The ramp layout as shown is indicative only, subject to change in accordance with up to date feature level survey and the site conditions.
2. Refer to 'Key Project, Action and Implementation Plan' section of the report for detailed actions to the deliverables.



# KEY PROJECT, ACTION AND IMPLEMENTATION PLAN

KEY PROJECTS	NO.	ACTIONS	PRIORITY	Short (1-3 years)	Medium (4-7 years)	Long (8-10 years)
1 Improve and Promote Natural Environment of Merriwa Park and Kaluna Park	A1	<p><b>Improve the conditions of the Lagoon to enable additional recreational activities</b></p> <p>Improve water quality of the lagoon through a number of steps (priority to be confirmed with Council's Parks and Gardens team) including:</p> <ul style="list-style-type: none"> <li>- Upgrade existing pumps to circulate water and create a positive flow within each of the main water bodies.</li> <li>- Remove weedy species within the lagoon areas, particularly at the inlet and outlet of water from adjacent water course.</li> <li>- Repair deterioration waters edge (northern banks) to match existing.</li> <li>- Continue to work with Department of Environment, Land, Water &amp; Planning (DELWP) to enable recreational fishing within the Lagoon.</li> <li>- Seating nodes along the proposed perimeter path provides opportunities for sitting, setting up and spectating (both for the fishing activity and the tennis).</li> <li>- Provide interpretive signage and information to outline the lagoon and what can be found within.</li> </ul>	1		✓	
	A2	<p><b>Retain and protect the 'Red Gum Forest' and open lawn picnic areas</b></p> <ul style="list-style-type: none"> <li>- Retain and protect existing red gums throughout any future works around them.</li> <li>- Half yearly Arborist Assessment &amp; Tree Management Plan to be prepared to determine the health of each tree.</li> <li>- Removal of dangerous limbs over any existing or proposed furniture beneath the trees.</li> <li>- Revegetation using locally sourced red gum stock.</li> <li>- Protect and retain any trees potentially impacted by the proposed internal road upgrade/repairs.</li> <li>- Retain and protect existing lawn open space.</li> <li>- Rectify any damages to the lawn area due to construction works.</li> </ul>	1	✓	✓	✓
	A3	<p><b>Upgrade Merriwa Park embankment zone and retaining walls</b></p> <ul style="list-style-type: none"> <li>- Replace existing deteriorating retaining wall structures to the park embankment, mostly on the northern end of Merriwa Park.</li> <li>- New retaining walls are to be constructed using the same material to ensure uniformity across the park, improve overall park aesthetics and visitor enjoyment of the park.</li> <li>- Unless otherwise stated, new retaining walls are to be made of galvanised steel (edges and posts) and a dark brown composite timber sleepers (infill panels), similar to the existing retaining walls constructed at the south end of Merriwa Park, at the ramp access to Meldrum Street.</li> <li>- Revegetate exposed areas above and below retaining walls with native grasses (such as Lomandra longifolia) and low to medium level planting to improve visual amenity and stability of the embankment.</li> <li>- Existing retaining walls with larger vertical span to the east side of Merriwa Park can explore alternative treatments and usage. Such as inviting local artists to create an art piece, or transformation of the space into informal outdoor cinema (which would require some forward planning, including projector, lighting and speaker set up).</li> </ul>	1		✓	

# KEY PROJECT, ACTION AND IMPLEMENTATION PLAN

KEY PROJECTS	NO.	ACTIONS	PRIORITY	Short (1-3 years)	Medium (4-7 years)	Long (8-10 years)
	A4	<b>Repair and improve existing levee bank at Merriwa Park</b> - Repair damaged areas of the levee bank. - Explore opportunity to regrade levee bank batter to enable mowing.	1	✓		
	A5	<b>Implementation of strategies to manage growing ibis population</b> - Consideration to tree species planted within the park to reduce nesting and roosting opportunities. - All public place recycling bin stations within Merriwa Park are to be installed with a lid or roof to prevent scavenging activity.	1	✓		
	A6	<b>Promote, protect and improve the Fernery</b> - Retain and improve the quality of the existing fernery through revegetation of the fern gardens and embankments to the adjacent property boundaries. Replanting should aim to conceal existing undesirable visual elements in the embankment such as exposed drainage pipes and concrete pits. - Repair and upgrade historic looping track, use a combination of materials based on the existing palette of brick, stone, concrete and composite timber to maintain the historical aesthetics familiar to local users. - Provision of additional formal and informal seating to enable further passive recreation and supervision of children for family visitors. Formal seating should be proprietary (part of the overall furniture suite to be used within Merriwa Park) to include arm rest and seat back for comfort and accessibility considerations. Informal seating can be made of natural materials such as mudstones and treated timber logs at varying heights. Reuse of existing timber from felled trees within Merriwa Park is preferable. - Fernery bridge to be retained and repaired if required, repairs made are to match original and existing materials, including the black painted iron fence and gate. - Potential to repair existing water feature or replace with a new system within waterbody near the fernery.	2			✓
	A7	<b>Improve and promote Little Kaluna Park with universal design considerations</b> - Retain existing and repair damages to paths after flood events. - Improve wayfinding signage into and within Little Kaluna Park; work with local indigenous networks to capture the site's history and provide information when entering the site through QR codes. - Investigate universal access pathways into Kaluna Park for users of different abilities, such as raised boardwalks which do not disturb the natural ground level and existing natural environment. - Design interventions within Kaluna Park must consider materials and layout to complement the existing site conditions, factoring in the fact that it will be periodically flooded. Any new structures must be designed to withstand these changing conditions. - Further investigate the feasibility to deliver the Kaluna Park Pathway enhancement project, providing a connection from Merriwa Park to Wilson Road.	2			✓
	A8	<b>Upgrade the southern lagoon precinct (south-west embankment of Merriwa Park)</b> - Rectify footbridge connection to the southern lagoon precinct (western embankment). - Improve embankment treatment with appropriate landscape interventions. - Reduce OH&S and maintenance concerns	3			✓

# KEY PROJECT, ACTION AND IMPLEMENTATION PLAN

KEY PROJECTS	NO.	ACTIONS	PRIORITY	Short (1-3 years)	Medium (4-7 years)	Long (8-10 years)
2 Access and Circulation within Merriwa Park	A9	<p><b>Upgrade and promote main entrances into Merriwa Park from Ryley Street &amp; Meldrum Street</b></p> <p>For the Ryley Street entrance, utilise a combination of the following strategies to improve the kerbside appeal to visitors:</p> <ul style="list-style-type: none"> <li>- Removal of select exotic street trees near the stair case at Ryley Street to open up the space.</li> <li>- Install clear signage with mapping of the overall park's site plan for wayfinding.</li> <li>- Increase seating opportunities at Ryley Street level.</li> <li>- Installation of feature paving to indicate the area as a place of interest.</li> </ul> <p>For the Meldrum Street entrance to Merriwa Park, the following are to be considered:</p> <ul style="list-style-type: none"> <li>- Improve the conditions of the existing staircase to meet DDA/equal access requirements.</li> <li>- Upgrade the existing access ramp to achieve DDA compliance.</li> <li>- incorporation of new planting and signage to beautify this southern entrance to Merriwa Park.</li> <li>- Planting to infill gaps in the existing landscape embankment.</li> </ul>	1	✓		
	A10	<p><b>Provision of car parking at Merriwa Park</b></p> <ul style="list-style-type: none"> <li>- Revision of car parking within Merriwa Park to work with proposed revised internal road layout.</li> <li>- Formalise car parking north of the tennis club.</li> <li>- Formalise car parking near the sound shell, for maintenance vehicle parking.</li> <li>- All car parking within Merriwa Park are to have time limits as per the Wangaratta CBD Car Park &amp; Traffic Plan (current parking limits is 2 hrs within Merriwa Park).</li> <li>- Review parking layout with Traffic Engineer at detailed design stage.</li> <li>- Provide accessible parking spaces with dedicated shared area and bollards to Australian Standards.</li> <li>- Maintain a zero net-loss of car parking.</li> <li>- Explore at detailed design to cater for heavy vehicle movements required for events. This includes the provision of food vans (3-4), portable toilets (truck x 2) and enabling disability drop off zone.</li> </ul>	1		✓	
	A11	<p><b>Improvement of internal access road conditions and circulation within Merriwa Park</b></p> <ul style="list-style-type: none"> <li>- Proposed realignment of the existing internal road connecting the tennis club parking area to the main car park, to the location south of the existing playground location.</li> <li>- Provide raised wombat crossings to enable safe access from the proposed expanded playground to the Tennis Club and across to the red gum forest to the east of the road.</li> <li>- Revise and consolidate existing internal road towards the Sound Shell area to become a dual access road. Traffic management issues could be resolved by closing of this road during event times. Ensure the proposed roundabout is suitable for heavy vehicle movement during event times. Final layout is subject to Traffic Engineering at detailed design. Retain and protect all existing trees where possible.</li> <li>- Improve and repair kerb and channel drainage along the internal road (causing drainage issues throughout the park) to better drain excess water from the hard surfaces.</li> </ul>	1		✓	

# KEY PROJECT, ACTION AND IMPLEMENTATION PLAN

KEY PROJECTS	NO.	ACTIONS	PRIORITY	Short (1-3 years)	Medium (4-7 years)	Long (8-10 years)
	A12	<b>Improve pedestrian and bicycle access with universal access considerations</b> <ul style="list-style-type: none"> <li>- Provision of DDA compliant access paths into the park and between different areas of the park. These paths are to be concrete paving to enable wheelchair and pram access.</li> <li>- Ensure access path surfaces and treatments meet Australian Standards for slip resistance and are of sufficient thickness to cater for the weight of the vehicle loads (eg, maintenance paths will need to be thicker to cater for heavier vehicles).</li> <li>- Provision of wayfinding signage and sufficient lighting along pathways.</li> <li>- Fencing elements along paths to be made consistent.</li> <li>- Incorporation of a ramp from Ryley Street to achieve universal access into the park and providing a cycle path connection through to Ely Street. Universal access also to be considered at the Ely Street connection of the path.</li> <li>- Provide raised wombat crossing to calm traffic and prioritise pedestrian users while crossing the car park. Location of the crossing to be finalised with input from a Traffic Engineer.</li> <li>- Consideration to pedestrian connection into Little Kaluna Park (including provision of universal access paths to meet DDA standards).</li> <li>- Upgrade existing ramp and staircase access from Meldrum Street, with consideration to universal access.</li> </ul>	1	✓		
	A13	<b>Provision of a perimeter walking/jogging loop track</b> <ul style="list-style-type: none"> <li>- Proposed concrete perimeter loop path to provide a formalised jogging/exercise track for users.</li> <li>- Connect to existing and updated path networks.</li> <li>- Ensure the design of the loop path is DDA compliant.</li> <li>- Provision of bench seating along the path at periodic distances (these can be used for spectating tennis games to watching the kids fish in the lagoon)</li> <li>- Incorporate dimmable lighting at key nodes of the path to allow users to safely use the track during darker times of the day (ie, dawn and dusk)</li> </ul>	1	✓		
	A14	<b>Investigate better vehicular access to Merriwa Park with bus access considerations</b> <ul style="list-style-type: none"> <li>- Review Ryley Street entrance with Regional Roads Victoria / Department of Transport to improve entry ramp into Merriwa Park.</li> <li>- Redesign the entry layout to minimise risk of collision but also consider bus/larger vehicle turning circles.</li> <li>- Improve sightlines for vehicles and pedestrians by clearing existing dense vegetation.</li> <li>- Provide a safe pedestrian crossing solution across the entrance vehicle access ramp.</li> <li>- Further detail design development will be required to improve the entry ramp into Merriwa Park, based on the above points.</li> </ul>	2	✓		
	A15	<b>Provision of bus parking at Merriwa Park</b> <ul style="list-style-type: none"> <li>- Incorporate bus parking within the park if space allows (depends on viability of Ryley Street entry ramp improvements)</li> <li>- Review parking layout with Traffic Engineer to ensure bus turn circles and sweep paths are kept clear.</li> <li>- Investigate opportunity to add a bus pick up and drop off zone at Ryley Street, between the Ryley Street vehicle ramp and the pedestrian stairs near the bike hub. Note that this option may block views into Merriwa Park for other vehicles travelling along Ryley Street.</li> </ul>	2		✓	
	A16	<b>Retain and improve maintenance vehicle access to Kaluna Park</b> <ul style="list-style-type: none"> <li>- Retain existing maintenance vehicle access location.</li> <li>- Upgrade maintenance gates and vehicle exclusion bollards to improve aesthetics.</li> </ul>	2		✓	

# KEY PROJECT, ACTION AND IMPLEMENTATION PLAN

KEY PROJECTS	NO.	ACTIONS	PRIORITY	Short (1-3 years)	Medium (4-7 years)	Long (8-10 years)
3 Upgrade of Park Facilities and Additional Amenities	A17	<b>Upgrade of BBQ and picnic facilities, including shelters</b> - Upgrade park facilities including BBQ's, drinking fountain and shelters to be consistent for ease of maintenance and repair. - Generally, colour of the park furniture should be a combination of earthy tones, greens and blues, as a reference to the natural environment of Merriwa Park and Kaluna Park.	1			✓
	A18	<b>Upgrade of park seating</b> - Upgrade park furniture and amenities including seating, picnic settings, public place recycling bin stations. - Incorporate a range of seating types to cater to different needs of the community using the park; including the addition of arm rests and seat backs. - Park furniture should consider materiality appropriate to the natural look and feel of Merriwa Park; therefore it is suggested that proposed furniture items are predominantly constructed out of timber (or composite timber), incorporating existing site features where appropriate (eg, use of brick in existing foot path at the lagoon picnic area). Materials salvaged from any removed trees should be prioritise to see how it can be utilised.	1	✓		
	A19	<b>Relocate existing toilets within Merriwa Park and upgrade to cater for additional users</b> - Relocation and upgrade of the existing toilet to consider accessibility, environmental aesthetics (given proximity to the red gums) and CPTED principles for safety. - Power and water from the removed toilet block is to be maintained to enable access for future events. - Proposed new toilet block should also include change rooms and accessible toilets. - Ensure path connections all cater to universal access.	1		✓	
	A20	<b>Upgrade &amp; expand existing playground, catering to all abilities</b> - Expand playground to incorporate area north west of it's current location. - Include equal access paths and furniture. - Include picnic settings for families. - Include public place recycling bin stations and drinking fountains. Bins are to have a lid or roof cover. - Upgrade play equipment (modernise) to include all ability equipment. - Install safety perimeter fencing with child proof gates adjacent to carparking or chicane fencing towards open space. - Explore opportunity for bespoke, natural looking fencing that blends with the Merriwa Park characteristics. - Incorporation of shade structures around seating.	1		✓	
	A21	<b>Upgrade to the existing Ryley Street toilet block and Bicycle Hub / viewing area</b> - Retain existing toilet and shower facilities at Ryley street, opportunity to provide additional toilets, showers and baby change room. - Explore integration of a DDA compliant ramp as part of the timber decking viewing platform. - Open up the south part of the building and transform it into a more open area with additional seatings to cater for a larger number of users, with views into Merriwa Park below. - Remove and relocated bike hub functions (such as lockers) to a more appropriate location in the CBD, to considered as part of the wider cycling strategy by Council.	1	✓		
	A22	<b>Improve lighting within Merriwa Park for pedestrian safety</b> - Review of overall park lighting. - Provide sufficient lighting to enable the park to be usable during evenings or early mornings.	1	✓		
	A23	<b>Upgrade and centralise existing irrigation system for Merriwa Park</b> - Upgrade and centralise overall park irrigation system for ease of maintenance. - Wireless Control Systems - Water conservation considerations	2	✓		

# KEY PROJECT, ACTION AND IMPLEMENTATION PLAN

KEY PROJECTS	NO.	ACTIONS	PRIORITY	Short (1-3 years)	Medium (4-7 years)	Long (8-10 years)
	A24	<b>Improve the connection between the Wangaratta Lawn Tennis Club &amp; Merriwa Park</b> <ul style="list-style-type: none"> <li>- Existing footprint to be maintained.</li> <li>- Fencing to consider visual impact to the rest of the park when being replaced.</li> <li>- Additional park seating at perimeter fencing for spectators to use during tennis matches and tournaments.</li> </ul>	2			✓
	A25	<b>Improve the connection between the Christopher Robin Kindergarten and Merriwa Park</b> <ul style="list-style-type: none"> <li>- Retain and ensure proposed works in adjacent areas do not impact on the day to day functions of this Kindergarten.</li> </ul>	2	✓		
	A26	<b>Incorporation of interpretive signage within Merriwa Park and Kaluna Park</b> <ul style="list-style-type: none"> <li>- Install interpretive signage at specific junction points within Merriwa Park for visitors to discover and use to gain a better understanding of the site's history.</li> <li>- Consider opportunities to integrate these interpretive signage nodes with any developed wayfinding features and strategies</li> <li>- Kaluna Park entrance signage to capture the site's history, use QR scan code to provide further details on areas of cultural significance throughout the park.</li> </ul>	2	✓		
	A27	<b>Provide an additional play space for nature play within Merriwa Park</b> <ul style="list-style-type: none"> <li>- Inclusion of an additional nature play area to the east of the tennis courts, in between existing gum trees.</li> <li>- Safety barrier fencing to be designed with a natural aesthetic, such as timber posts with black painted fencing panels.</li> <li>- Existing shelter in the area to be upgraded for consistency and uniformity in park furnishings.</li> <li>- Opportunity to utilise any removed trees (dead trees or those marked for removal by an Arborist), after being treated, to become part of the play equipment or seating within this space.</li> <li>- Nature play area to include indigenous elements to pay tribute to the cultural significance of Kaluna Park. Items include timber totem poles with indigenous artwork, red gum (natural timber) boomerang designed seat/s &amp; signage with QR information codes.</li> </ul>	2		✓	
	A28	<b>Improvements to the Sound Shell and amphitheatre lawn</b> <ul style="list-style-type: none"> <li>- Infill existing moat in front of the sound shell stage to make the area safer for users.</li> <li>- Backfilling of the moat in front of the apron is to be current height to allow for the existing temporary apron to be installed at a width of approximately 5m.</li> <li>- Preservation of the land adjoining the Sound Shell to cater for future expansion</li> <li>- Opportunity for the Lions Club to seek funding to upgrade and improve the sound shell facilities, with Council assistance.</li> <li>- Explore the provision of additional power and lighting to cater to more event (small scale only)</li> <li>- The area south of the existing gravel footprint is to remain as open space for vehicle access during event times, and the Lions Club are aware existing vegetation will be retained.</li> <li>- Provision/designation of flat open area near the Sound Shell and grassed amphitheatre to cater for portable toilets (including accessible toilets) to be brought in and set up during events.</li> </ul>	2		✓	
	A29	<b>Promotion of Merriwa Park as an Events Precinct</b> <ul style="list-style-type: none"> <li>- Upgrade park provision of power the community can 'plug into', to cater for small scale events such as weddings or group exercise (eg, cross fit, yoga, taichi)</li> <li>- Access to additional water taps.</li> <li>- Retain ability to host boutique live music events for up to 2,000 people.</li> <li>- Larger events to be relocated to alternative locations.</li> <li>- Better egress lighting.</li> </ul>	3		✓	

# 10 YEAR ACTION PLAN

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*IN WORKING PROGRESS*

# COST ESTIMATES

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**IN WORKING PROGRESS**

*End of Report*